



ar
urbanism

Freckenham Neighbourhood Plan

Allocated Sites Development Briefs (June 2021)

This report has been produced by AR Urbanism on behalf of Freckenham Parish Council, to support the production of the Freckenham Neighbourhood Plan.

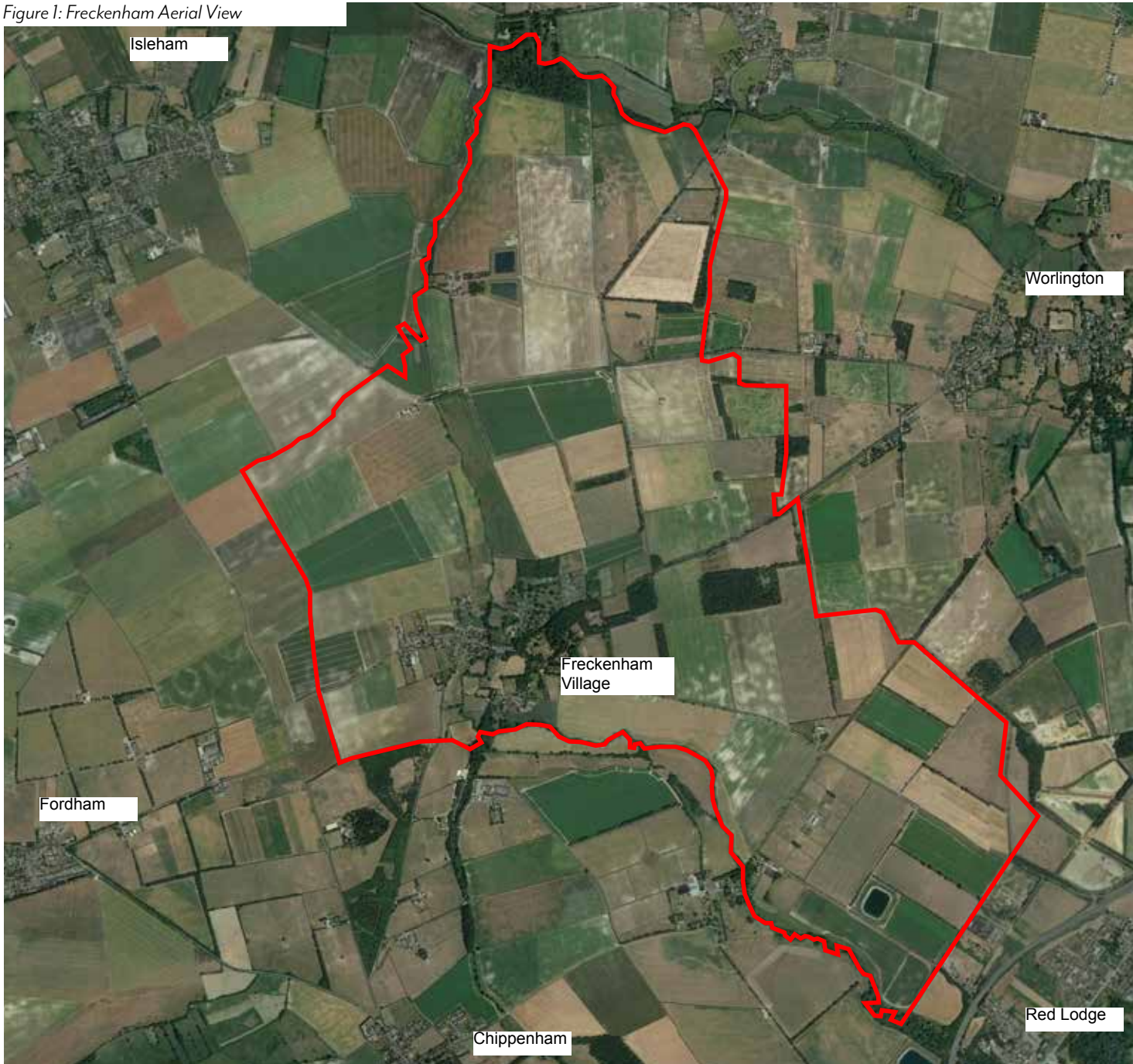
All maps within the report have been oriented with North to the top of the page.

Project Role	Name	Position	Action Summary	Signature	Date
Qualifying Body	Nick Woolley	Freckenham NP Group	Report Sign Off	Nick Wooley	07/07/21
Director/QA	Amanda Reynolds	Director	Revision of final report	Amanda Reynolds	07/06/21
Researcher	Joanne Preston, Maria Milickova	Urban Designer	Research, written content, drawings	Joanne Preston, Maria Milickova	07/06/21

Contents

Introduction	5
Village Analysis	11
Allocation Site Selection	26
Site 3: Meadcroft and Millfield	28
Site 7: Land south of Mildenhall Road	34
Site 11: 'Land at Freckenham'	40
Relevant Case Studies	46

Figure 1: Freckenham Aerial View



Key:-

 Parish & Neighbourhood Plan Boundary



Freckenham village sign depicting a boat sailing on Lee Brook

Introduction

This report provides a village analysis and development brief for the Freckenham Neighbourhood Plan area. This work will support the Freckenham Neighbourhood Plan (FNP) by promoting high-quality, sustainable design that reflects the distinctive characteristics of the area.

The developing FNP is a community led document which expands on the West Suffolk Council Local Plan (consisting of the former Forest Heath area and former St Edmundsbury area Core Strategy Documents).

The FNP gives local people a greater say over what happens in their area. On 2nd November 2018, Freckenham Parish Council submitted a request to West Suffolk Council (WSC) for the parish to be designated as a Neighbourhood Area for the purposes of developing a Neighbourhood Plan. On the same day, WSC confirmed the designation. A Neighbourhood Plan Group, led by the parish council, was established to oversee the production of the FNP.

In January 2021, AR Urbanism were commissioned by Locality, on behalf of Freckenham Parish Council, to prepare two reports: a Development Brief for three proposed site allocations in the parish, along with a Design Code for the Neighbourhood Plan Area. This Development Brief report builds on a Site Appraisals report (September 2020) by Urban Vision Enterprise CIC that was commissioned by Locality for FNP. The Site Appraisals report considered the suitability of 16 sites that were identified through an invitation letter sent by the qualifying body to the landowners, or through the Strategic Housing and Economic Land Availability Assessment (SHELAA) process.

The three sites explored in the development briefs were identified in the Site Appraisals document as suitable for residential development:

- Site 3: Meadcroft and Millfield;
- Site 7: Land south of Mildenhall Road;
- Site 11: 'Land at Freckenham'

Site 3 and 11 were identified in the Site Appraisals document as having no constraints or constraints that are easily overcome, so that the sites can be allocated. Site 7 was identified as a site that is potentially suitable for allocation if medium scale constraints can be overcome.

A desktop review of the relevant national and local planning policy context has been undertaken, along with an analysis of the village's character. The character analysis builds on a Parish Landscape Study: Character and Sensitivity Appraisal and Key Views Assessment (September 2020) to understand how the area functions as a place. For each of the three sites, the report analyses the design opportunities and constraints. The design codes are applicable to the development of the three sites and development more generally across the Neighbourhood Plan Area.

These documents will set out the type of development suitable for Freckenham and ensure that the vision for new development aligns with the ambitions of the emerging FNP.

Freckenham Parish Council will engage with the local community and stakeholders to seek views and inputs into shaping the draft FNP. AR Urbanism have conducted online workshops with the parish council to discuss the opportunities and constraints of the village and these consultations have informed the development briefs and design code.

Figure 2: Freckenham Village Centre, 1:10,000



The Street



Elms Road



About Freckenham

Freckenham Neighbourhood Area (FNA) comprises a small village and civil parish of 2,600 acres (1052 ha), situated to the far west of the West Suffolk district, in the County of Suffolk in East Anglia. The west and south of the parish bounds Cambridgeshire. The Neighbourhood Area boundary aligns with the boundary of Freckenham Parish Council, which represents the interests of the people living in and around the village. The 2011 census recorded that the Parish has a population of 344.

Freckenham is an ancient parish, which was inhabited during Neolithic times. The village has a charter dating from 895, when King Alfred gave “Freckenham in the County of Suffolk and my small estate in Yselham (Isleham)” to Burricus, Bishop of Rochester. The name Freckenham is believed to have come from Old English referring to the homestead of a man named ‘Freca’.

The parish is located at the western tip of the Breckland where it meets the Fens, on relatively flat land between Cambridge, Bury St Edmunds and Thetford. The River Kennett becomes the Lee Brook as it flows north through the village and joins the River Lark to the north near West Row. The village prospered during the middle ages when it is thought to have been an inland fishing port. Its strategic location, surrounded on three sides by fens, near to the Icknield trackway, and above the junction of two rivers and the river crossing, supported fishing and agricultural industries.

The village grew slowly and quietly between the 17th and 19th Centuries, where the main settlement was along The Street, to the west side of North Street and Church Lane. Freckenham has a Conservation Area, which was designated in 1993 and updated in 2010. Within the Conservation Area, there are a number of Listed Buildings and buildings which make a positive contribution to the character of the area.

Of particular note are the Grade II* listed buildings; the 14th Century St Andrews Parish church (restored 1867-1870), and the Manor House, which dates back to the late 17th Century; and the grade II listed Old Rectory (with 1830 façade and internal elements dating back to 1540). The remains of a Norman motte & bailey castle still stands within the village and is known as The Beacon Mound.

Planning Context

The Neighbourhood Plan area is the area of the Freckenham Parish Council boundary. Freckenham Parish Council is the authority for the development of the Neighbourhood Plan, as well as holding some planning responsibilities of its own in its capacity as a Parish Council. The Parish itself lies in the County of Suffolk. West Suffolk Council is the local planning authority, with responsibility for the development, management and enforcement of the Local Plan (consisting of the former Forest Heath area and former St Edmundsbury area Core Strategy Documents). Overriding these layers of planning control lies the National Planning Policy Framework (NPPF), which sets out the government's planning policies for England and how these are expected to be applied. This includes policies around the content and application of Local Plans and Neighbourhood Plans.

Neighbourhood Planning was introduced under the 2011 Localism Act, to enable communities to play a stronger role in shaping the areas in which they live, work and play. Neighbourhood Plans are significant expansions on the previous forms of Parish, Village or Town Plans by virtue of forming part of the Local Planning Authorities development framework when adopted. As such, they have a material weight in relation to the decision of planning applications. However, it is important to note the requirement for Neighbourhood Plans to be in general conformity with the strategic policies of their relevant Local Plan.

National Policies & Guidance

National Planning Policy Framework

The National Planning Policy Framework (NPPF) provides the overriding structure for planning within England. It sets out the Government's planning policies for England and how these should be applied, and it provides a framework within which locally prepared plans for housing and other development can be produced.

Underpinning the NPPF is a presumption in favour of sustainable development (paragraph 11) which considers sustainability as both an economic, social and environmental objective. Under the NPPF, Neighbourhood Planning has a role in influencing local planning decisions as part of the non-strategic policies of the statutory development plan but should not be used to promote less development than set out in the statutory development plan's strategic policies (paragraph 29).

Chapter 12 is of most relevance to this report, as it outlines that good design is fundamental requirement in achieving sustainable development. Applications for developments of poor design that fail to take the opportunities available for improving the character and quality of an area and the way it functions, taking into account any local design guides in plans, should be refused (paragraph 130). Chapter 12 also outlines 6 key tests of achieving well-designed places (paragraph 127).

These include ensuring that developments:

- 'will function well and add to the overall quality of the area [...]'
- 'are visually attractive as a result of good architecture, layout and appropriate and effective landscaping'
- 'are sympathetic to local character and history [...]'
- 'establish or maintain a strong sense of place [...]'

- 'optimise the potential of the site to accommodate and sustain an appropriate amount and mix of development [...]'
- 'create places that are safe, inclusive and accessible and which promote health and well-being [...]'

National Design Guide

The National Design Guide, published in October 2019, sets out the characteristics of well-designed places and demonstrates what good design means in practice. It forms part of the government's collection of planning practice guidance. The guide provides a structure that can be used for the content of local design guidance and considers ten characteristics of well-designed places.

National Model Design Code and Guidance Notes

The National Model Design Code sets out design considerations to take into account when developing local design codes and guidance and when determining planning applications, including;

- The layout of new development, including street pattern;
- How landscaping should be approached including the importance of streets being tree-lined;
- The factors to be considered when determining whether façades of buildings are of sufficiently high quality;
- The environmental performance of place and buildings ensuring they contribute to net zero targets;
- That developments should clearly take account of local vernacular and heritage, architecture and materials

Building for a Healthy Life

Building for a Healthy Life (BHL), published in 2020 by Homes England, supersedes Building for Life 12. It sets an industry standard for improving the design quality of homes and

neighbourhoods. It is endorsed by the government and forms Homes England's key measure of design quality. BHL has been written in partnership with Homes England, NHS England and NHS improvement, integrating the findings of the Healthy New Towns Programme. Building for Life 12 is structured around 12 key considerations which can be used to assess proposals and structure discussions around proposed development.

Local Policies & Guidance

Emerging West Suffolk Local Plan Review

West Suffolk have commenced a review of the local plan which will set out the long term planning and land use policies for the area. As of March 2021, West Suffolk Council are in the initial stages of drawing up a new local plan for the area. The progress of the preparation of the emerging Local Plan has been delayed as a result of the covid-19 pandemic. The FNP is expected to be made before the adoption of the West Suffolk Local Plan Review. While the FNP must conform with strategic local adopted policy, it will also take into account the emerging local plan where possible to minimise the potential of the FNP masterplan proposals becoming outdated when the emerging local plan is adopted.

Local Plan

The existing local plan, comprising the former Forest Heath District Council area and the former St Edmundsbury Borough Council (SEBC) area Core Strategy documents, remains in force. These documents provide policies on the strategic vision for the area to 2026 and policies for residential growth to 2031. Several of the core strategy policies have particular relevance to Freckenham and its emerging Neighbourhood Plan. The following capture the key parts of key policies with particular relevance to this study:

- Policy CS1 of the former FHDC area Core strategy (2010), 'Spatial Strategy' - This identifies a hierarchy of settlements. In this hierarchy, Freckenham is defined as a secondary village and therefore development outside of the settlement boundary is restricted.
- Policy CS5 of the former FHDC area Core strategy (2010), 'Design Quality' - This sets out that new development should be designed to a high design quality. It should enhance the existing distinctive character, appearance and environmental quality of the area. Policy CS5 also encourages the application of sustainable design principles.
- Policy CS7 of the Core strategy (SIR) 2019, 'Overall housing provision and distribution' - The preferred spatial policy for growth in West Suffolk seeks to concentrate new housing developments within the towns of Mildenhall, Newmarket and Red Lodge followed by Lakenheath, Brandon and the Primary Villages. Freckenham is classed as one of 10 'Secondary villages'. These 10 secondary villages and a further five 'small settlements' will take no 'additional provision' than the share of 181 dwellings already completed or committed between them.
- Policy DM27 of the former Forest Heath and former St Edmundsbury Local Joint Development Management Policies Document (2015), 'Housing in the Countryside' - This policy discourages development in open countryside. However, the settlement boundary may be amended to accommodate a site allocation as part of the plan-making process. The qualifying Body must negotiate such an amendment with the Local Planning Authority and agree it following a period of public consultation. If the settlement boundary is amended, the Qualifying Body should ensure that the Neighbourhood Plan includes an appropriate infill policy and design guidance.

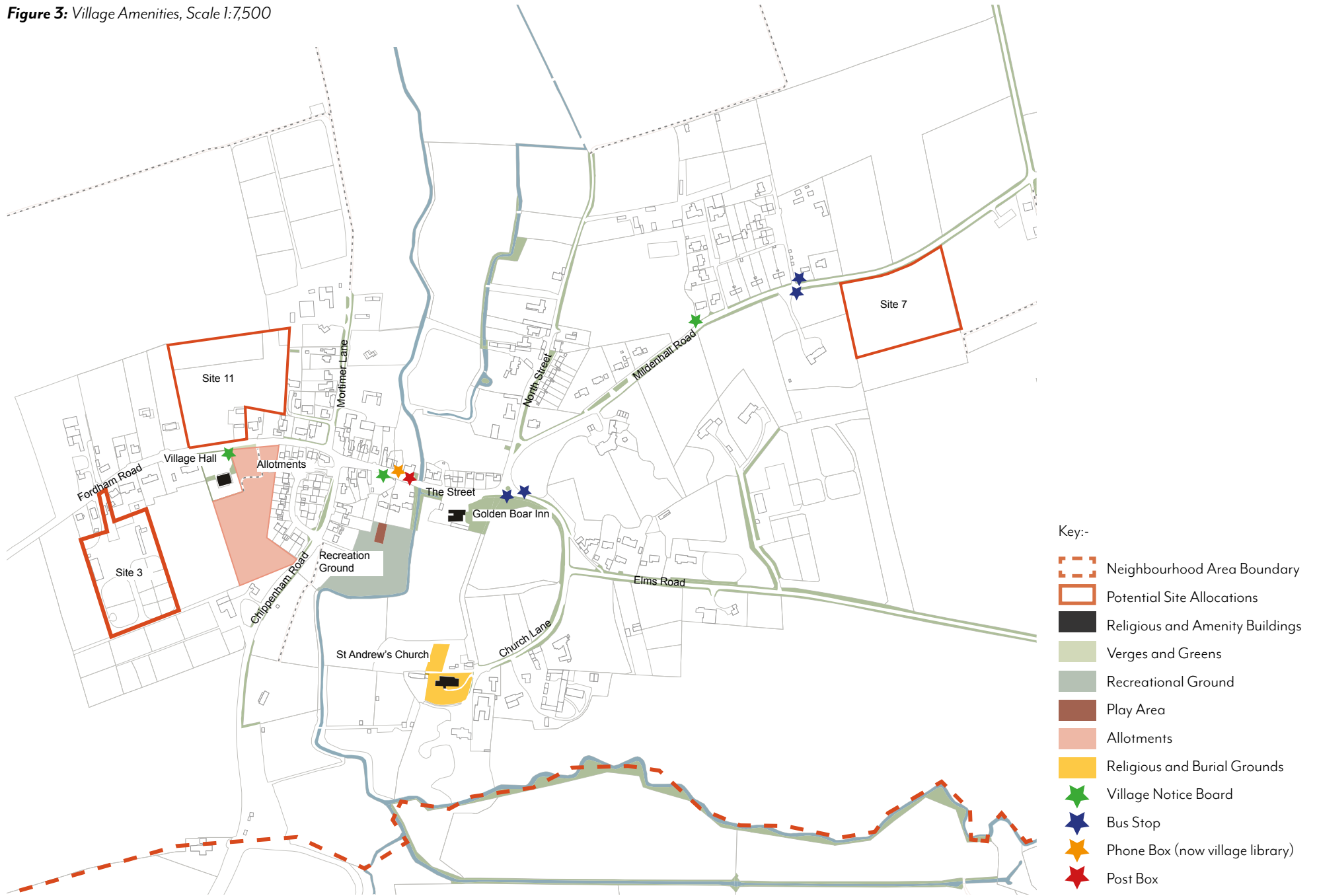
Conservation Area

Parts of Freckenham sit within the Freckenham Conservation area, which was first designated on the 20th October 1993 and revised in September 2010.

The Conservation Area Appraisal identifies important features of the built and natural environment within the Conservation Area, including important local buildings, traditional materials and details, key spaces formed by buildings; as well as the contribution made by trees, hedges and other natural or cultivated features. In addition, the conservation area appraisal notes Freckenham House, Holmes Farmhouse and Selborne House as buildings of particular architectural interest, which fall outside of the designated conservation area.

The Neighbourhood Plan Masterplan and Design Codes build upon the characteristics identified in the Conservation Area Appraisal, with the aim of promoting these through the design and layout of future development.

Figure 3: Village Amenities, Scale 1:7,500



St Andrew's Church



Village Analysis

Land Use

Freckenham's historic village core is laid out around a confluence of roads leading to Fordham, Red Lodge and Mildenhall. The oldest parts of the village include the remains of a motte and bailey castle, known as 'The Beacon Mound', a manor house, church and rectory, which lie to the south of the village centre. 20th Century residential development is set out along Fordham Road, Mildenhall Road and Chippenham Road.

Freckenham's small population necessitates that residents travel to the neighbouring villages for amenities such as shopping, healthcare and education. However, along The Street, there is a 19th Century grade II listed public house, library situated within a former phone box, post box and village noticeboard.

To the west, on the southern side of Fordham Road, are some allotments and Freckenham Village Hall. The village hall includes a main hall, anteroom, kitchen, WC's and WiFi facilities. Prior to the outbreak of Covid-19 it hosted weekly fitness classes, monthly film nights, a monthly farmers market, regular theatre events, bingo nights and clubs such as table tennis and carpet bowls. The village hall can also be hired for events such as birthday parties or meetings.

Freckenham has a recreation ground, which is accessed by pedestrians via a path from The Street or via a vehicular entrance on Chippenham Road. The site was improved by the parish council in 2015 and, as a result, it offers a good range of children's' play equipment and adult outdoor exercise equipment. The space has a circular path for walking and jogging and benefits from being framed by the river along its eastern and southern boundaries.

In 2020, FNPG surveyed residents to see how their working location had changed as a result of Covid-19. Of the 43 responses received, 26% of people expect to continue working from home all of the time and 30% of people expect to work from home some of the time in the future. Residents said they would like the village to have facilities such as hot desks, bookable rooms, high speed internet and large office equipment to facilitate this.

Recreation Ground and Play Area



Allotments



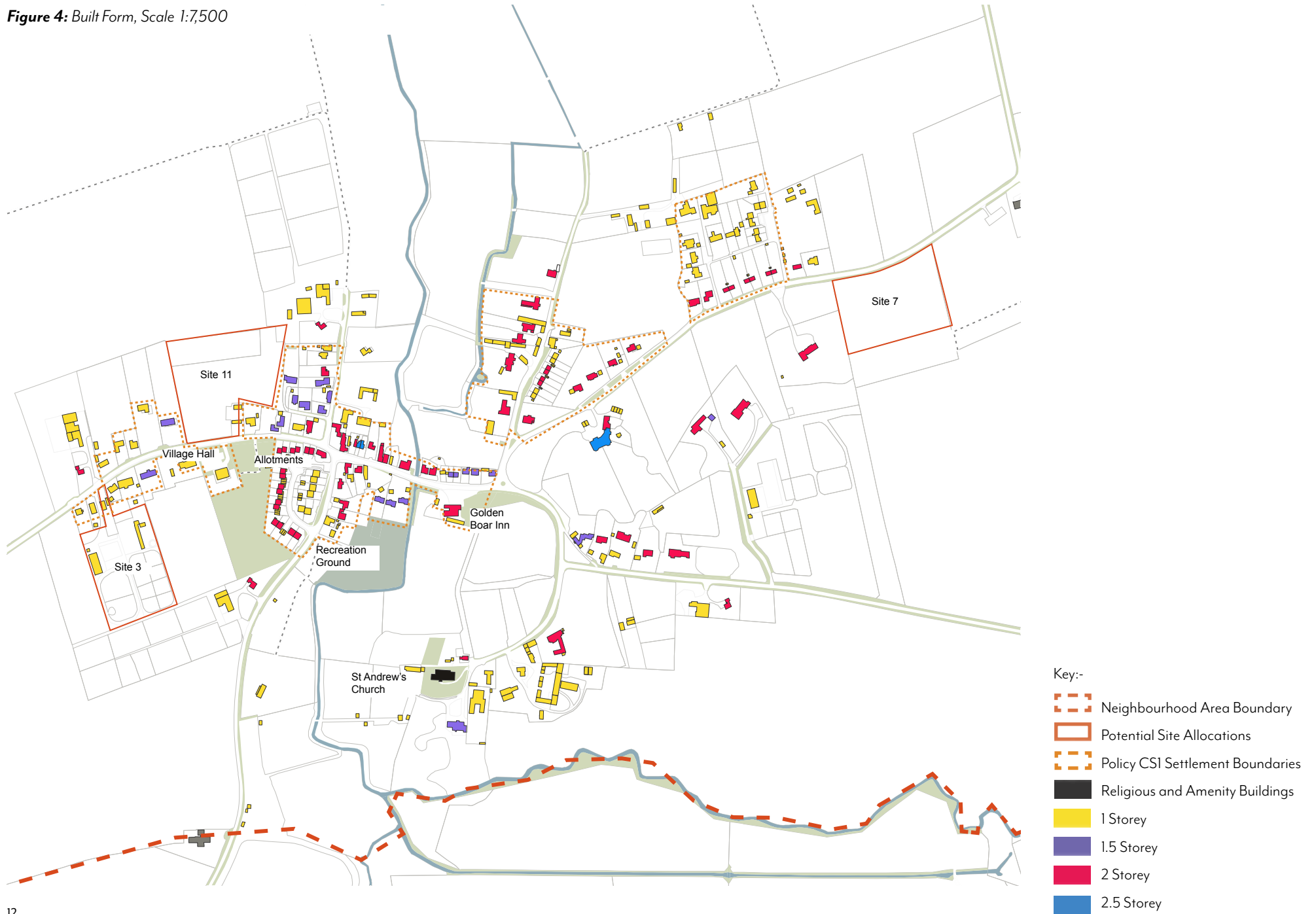
Golden Boar Inn



Village Hall



Figure 4: Built Form, Scale 1:7,500



1-Storey detached



1-Storey semi-detached



1.5-Storey detached



1.5-Storey semi-detached



2-Storey detached



2-Storey semi-detached



Built Form

Buildings within Freckenham range from 1-2.5 storeys detached or semi-detached typologies across both historic and modern developments. Historic houses in Freckenham vary in absolute height. 19th Century buildings such as Lavrock House tend to be taller, in absolute terms, than newer buildings of similar storeys, due to their more generous floor-to-ceiling heights. In contrast, many of the historic cottages represent the opposite tendency with smaller floor-to-ceiling heights.

A significant feature of Freckenham is the 1.5 storey dwelling with dormer windows. This characteristic minimises the presence of the building while creating an attractive roof-line and delivering buildings that are effectively 2-storey in terms of usable floorspace. There are also a few examples of 2.5 Storey houses, where the same approach has been applied, such as the terrace of 3 houses on The Street and Freckenham House on Mildenhall Road. The height and layout of future development in Freckenham must consider its visibility to ensure it relates sensitively to the surrounding landscape and built heritage assets.

The following pages look in greater detail at the density and layout out built form across different areas of the village.

2.5-Storey terrace





Fordham Road

Development along Fordham Road comprises 1-2 storey late 20th Century detached homes with front gardens and driveways providing on plot parking and access to garages, which are set back from the main building elevation. Thresholds between the street and front gardens are formed by hedges and low brick walls. Buildings tend to be faced in brick, with tiled roofs. Roof pitches tend to be shallow on single storey dwellings and steeper for those that are 2-storey. Rear gardens back onto agricultural fields and the prevailing detached typology allows for glimpses of the landscape between buildings from Fordham Road.



Chippenham Road, Shores Close, The Street and Mortimer Lane

Development along The Street varies from 1.5-2.5 storeys and comprises a range of typologies and ages. The organic development of this street over time has formed a characterful patchwork of materials, roof forms and threshold treatments. Homes along the northern side of The Street and at the south-western corner of the junction with Chippenham Road have a strong relationship to the street, either forming a hard edge to the pavement or with front gardens with low boundary walls of brick or flint.

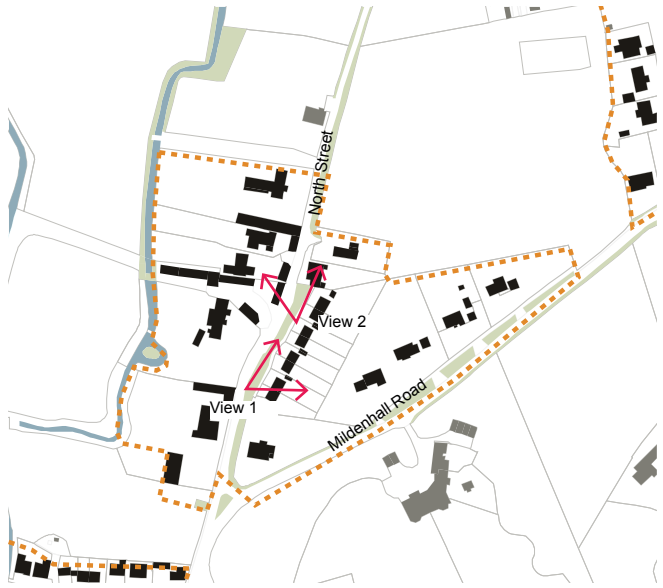


Buildings along Mortimer Lane are generally 1 and 1.5 storeys detached homes that front directly onto Mortimer Lane itself with shallow parking areas. Several dwellings are accessed via 'The Driftway' and these homes have a strong relationship to the field to the west. The 20th Century development to the west of Chippenham Road is formed of 1 and 2 storey link-detached typologies, with on plot parking. These are arranged in a cul-de-sac layout that bears little reference to the locality.



East View and north of Mildenhall Road

East View is a late 20th Century development of 1 and 2-storey semi-detached homes to the north of Mildenhall Road. 2-storey dwellings front Mildenhall Road and bungalows are arranged along a grid of lanes to the rear. The 2-storey dwellings have large gardens that extend from the front to the rear with garages accessed via the lanes. The pattern of development results in large areas of blank frontage to the rear where gardens are contained with timber fences.

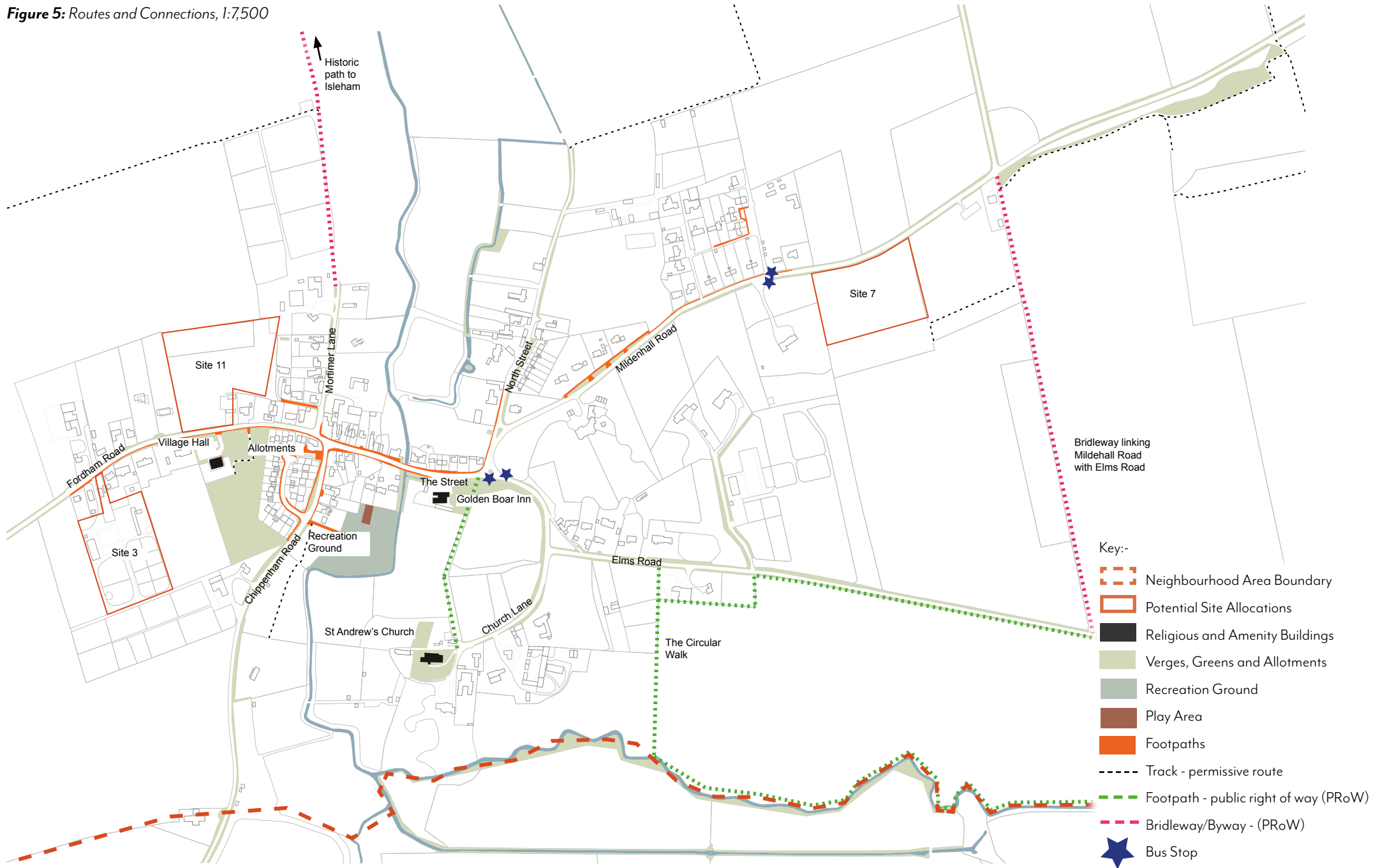


North Street and north-west of Mildenhall Road

This area is more agricultural in character than the rest of Freckenham. Houses and farm buildings on the west side of North Street are 2-storey with yards and gardens that adjoin the brook to the rear. Lavrock House and White House Farm front North Street, whereas other dwellings are set at angles to the street with single storey out-buildings that adjoin chalk block walls and form a hard edge to the street. Buildings are constructed in a range of materials including render, brick and weatherboard. Roofs are tiled in red clay tiles or slate with steep pitches and prominent chimneys on gable ends. The eastern side of North Street comprises a 20th Century development of semi detached 2-storey, red-brick houses and bungalows with front gardens, on raised land and accessed via ramps and steps set within a sloping verge.

North of Mildenhall Road, there are 2 storey large detached homes with garages, set within generous gardens with mature trees. There is no boundary wall to the street, however a grass verge and footpath provide buffer to road.

Figure 5: Routes and Connections, 1:7,500



The Street



North Street - Mildenhall Road junction



Elms Road



Mildenhall Road



Fordham Road



Track linking Mildenhall Road and Elms Road



Routes and Connections

The quality of the pedestrian environment within Freckenham village centre is mixed and parts of the village suffer from a fragmented pavement network, with some key village routes lacking consistent pedestrian pavement connections or no pavements at all. There are two main problem areas where busy junctions divide the village centre from homes to the east and limit pedestrian movement:

- 1.) The busy T-junction with North Street divides Mildenhall Road from the rest of the village. A generous footpath on the northern side of Mildenhall Road terminates before the junction. The verge is vertical, forcing pedestrians to walk in the road around the bend. The boundary hedge of the property at the south-eastern corner of North Street makes this area all the more dangerous by blocking visibility between pedestrians and on-coming traffic.
- 2.) The footpath along Church Lane, between Elms Road and the The Street is also fragmented and there is a large stretch, where the road bends, where there is no pavement and only a narrow, sloping verge.

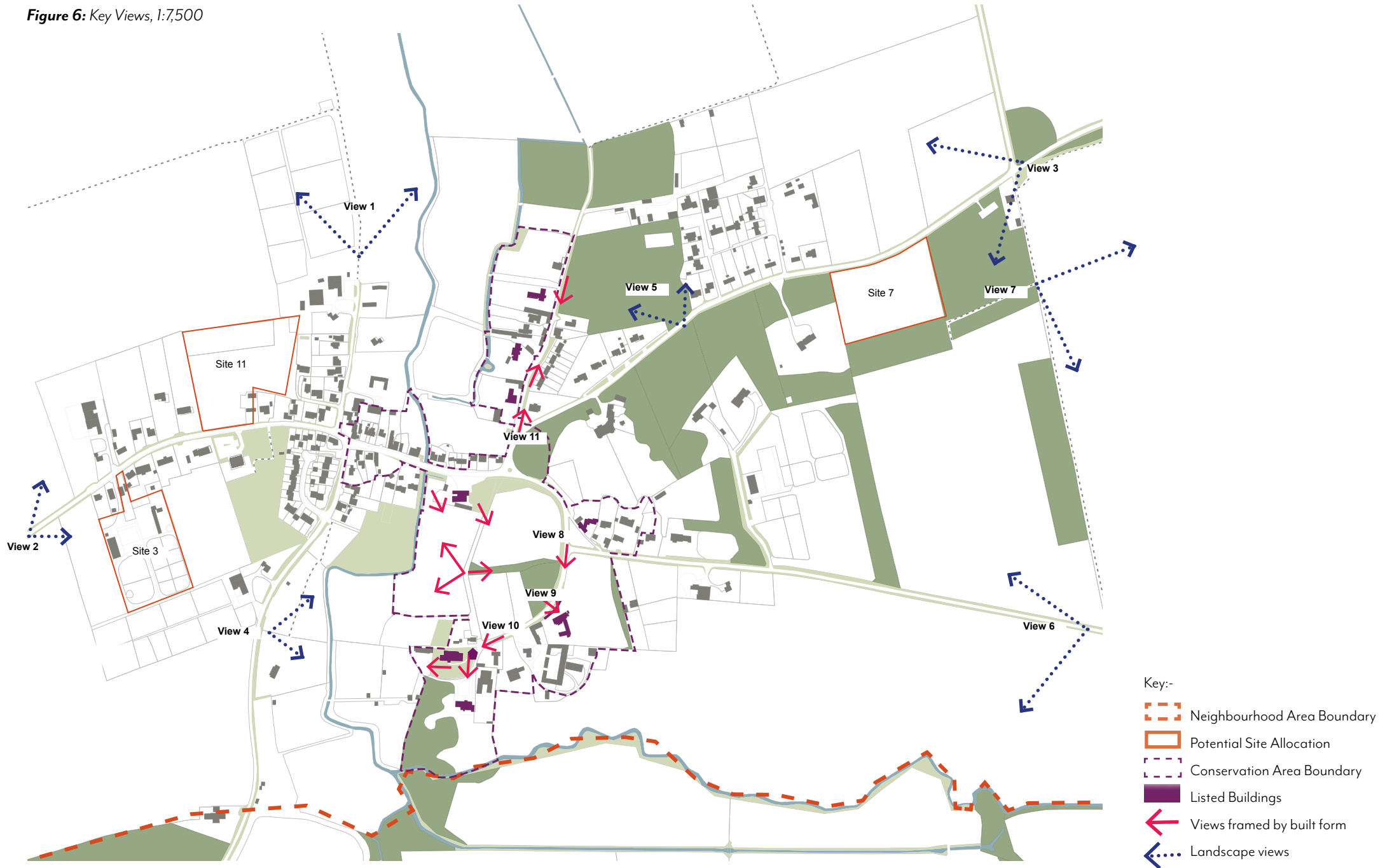
The pedestrian environment along The Street is generally good, with a generous footpath on both sides of the road and a public bench to the west of the Golden Boar Inn. Along Fordham Road, there is a footpath on the southern side of the street, which connects to The Street to the Village Hall, allotments and recreation ground.

Freckenham also benefits from a network of public rights of way and permissive routes. Access to the landscape is key to the character of the semi-rural village and new development should provide pedestrian links to these existing routes where possible.

There is a lack of defined cycling infrastructure within the village, with no dedicated cycle paths (on- or off-road), crossings or public cycle parking.

There are bus stops on Mildenhall Road and at the junction of The Street and Church Lane. There is a twice daily bus service between Mildenhall and Bury St Edmunds.

Figure 6: Key Views, 1:7,500



View 1: North of Mortimer Lane



View 2: Entrance to the village from west (Fordham Road)



View 3: Entrance to the village from the East (Mildenhall Road)



View 4: St Andrew's Church from Chippenham Road



Village Edge Views

The Parish Landscape Study: Character and Sensitivity Appraisal and Key Views Assessment (September 2020) identifies important landscape views within the parish. The Freckenham Conservation Area Appraisal (updated September 2010), identifies important views within the village. This analysis of views of the village edges builds on these studies to understand how new development, that extends the existing settlement boundary, can be embedded into the existing context in a way that responds sensitively to visual receptors, and enhances important views from within and outside of the village.

View 1: North of Mortimer Lane

Mortimer Lane leads to views of the open countryside to the north where open fenland to the west merges with breckland to east, which is characterised by lanes enclosed by trees and hedges.

View 2: Entrance to the village from Fordham Road

Views on the approach to the village from the west are blocked by a substantial tree belt and field margins to the south. These would help to screen development on site 3. To the north, there are long views over fenland and farm buildings that mark the start of the built up area of the parish.

View 3: Entrance to the village from Mildenhall Road

Here there are views across breckland landscape to north, formed of farmland with woodland strips lining roads and field boundaries. To the south there are more enclosed views, which are constrained by woodland belts.

View 4: St Andrew's Church from Chippenham Road

St Andrew's Church sits on an elevated chalk outcrop, which means the church can be seen beyond gently rolling small scale meadows and farmland from Chippenham Road.

View 5: Meadow from Mildenhall Road



View 6: Approach along Elms Road



View 7: Bridleway south of Mildenhall Road looking east



View 8: Entrance to Church Lane



View 9: Manor House from Church Lane



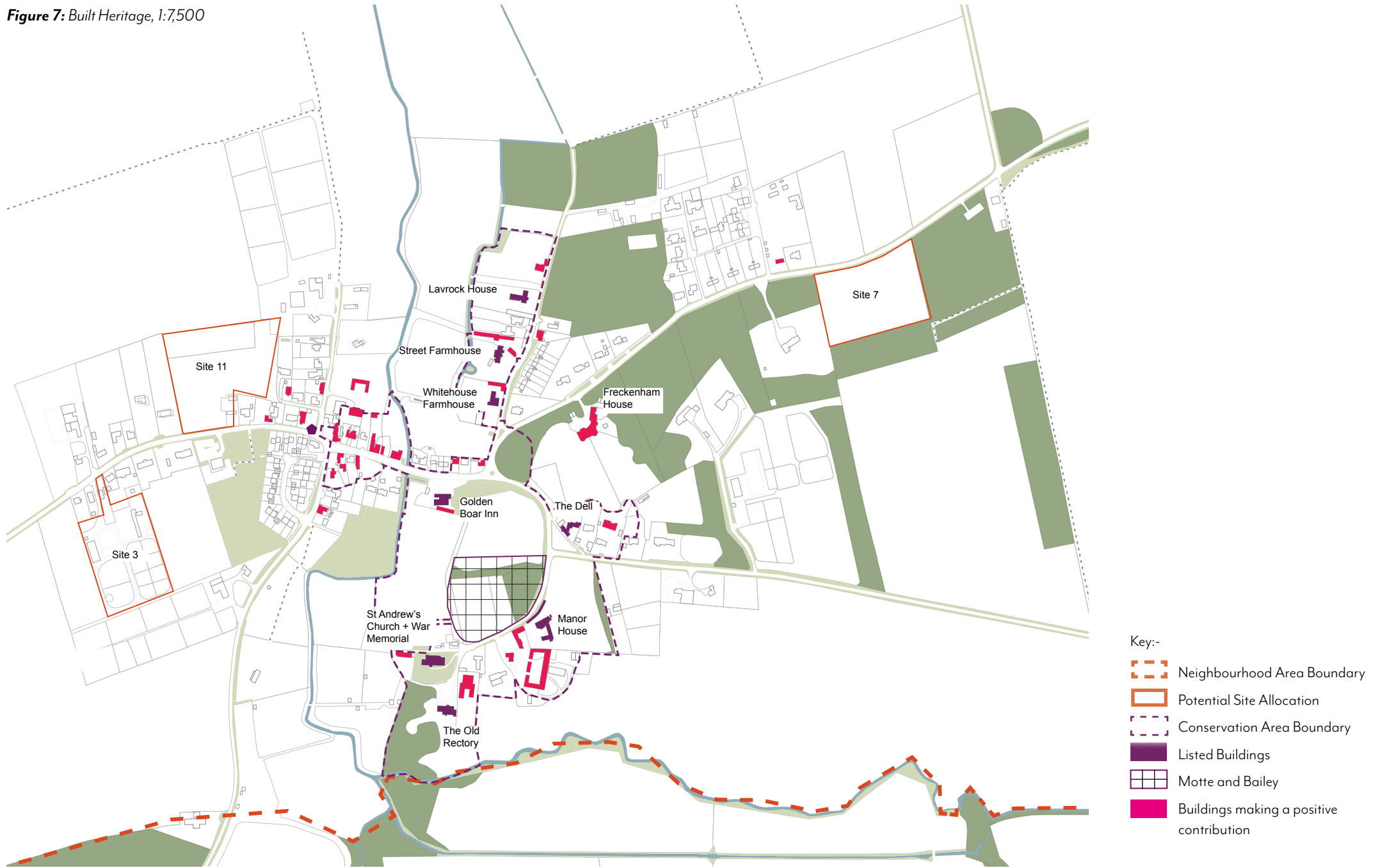
View 10: St Andrew's Church from Church Lane



View 11: Whitehouse Farmhouse, North Street



Figure 7: Built Heritage, 1:7,500



St Andrew's Church



The Old Rectory, Church Lane



Lavrock House, North Street



Manor House, Church Lane



Street Farmhouse, North Street



The Dell, Elms Road



Built Heritage

The Freckenham Conservation Area was first designated in October 1993 and updated in September 2010. It covers the oldest parts of the village: the properties of Church Lane, which are arranged around the remains of the motte and bailey castle; an area to the west of North Street and properties fronting The Street. The Freckenham Conservation Area protects the historic core of the village and the setting of a number of listed buildings and historic landscape features. In addition to the listed buildings within Freckenham, there are a number of other buildings that make a positive contribution to the distinctive character of Freckenham.

British Listed Buildings provides records of all Grade I and Grade II listed buildings within the Freckenham Neighbourhood Area :

Scheduled Monument

- Freckenham Castle (remains of)

Grade: II*

- Church of St Andrew
- Manor House

Grade: II

- War Memorial
- Whitehouse Farmhouse
- Lavrock House
- The Dell
- The Golden Boar Public House
- Entrance Gates, Railings and Terminal Piers north of Manor House
- Street Farmhouse
- The Old Rectory

Thatch



Interlocking clay tiles



Clay plain tiles



Slate tiles with diminishing course



Flint walls



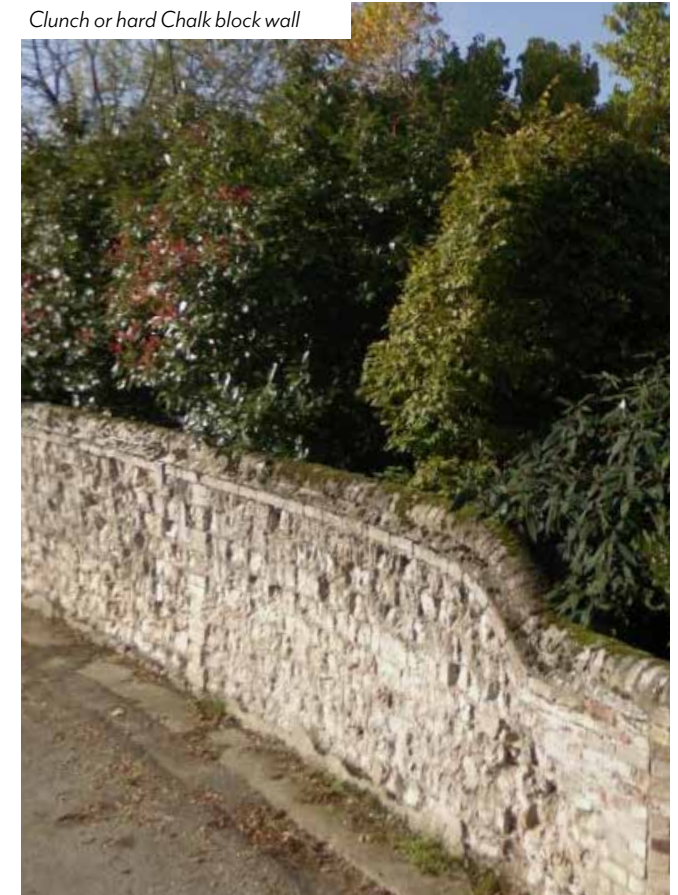
Flint



Brick



Clunch or hard Chalk block wall



Rendered brickwork



Render with pargeting



Buildings in Freckenham are formed of materials and details that are important to the character of the village.

Brickwork

Brick is a common facing material for buildings within the village and there are also many boundary walls made of brick in the village that contribute to the street character. The bricks used in the village are red or yellow and laid in English bond or Flemish bond with a lime mortar.

Flint Rubble Walls

Flint rubble or knapped flint walls are a distinctive feature of Freckenham, such as the boundary wall at the junction of Elms Road and Church Lane and the detached house on the northern side of The Street (photograph opposite).

Render and Pargeting

Several buildings are faced in rendered brickwork. These sometimes feature relief patterns called pargeting and coloured in lime wash in pastel tones.

Clunch or Hard Chalk Block Walls

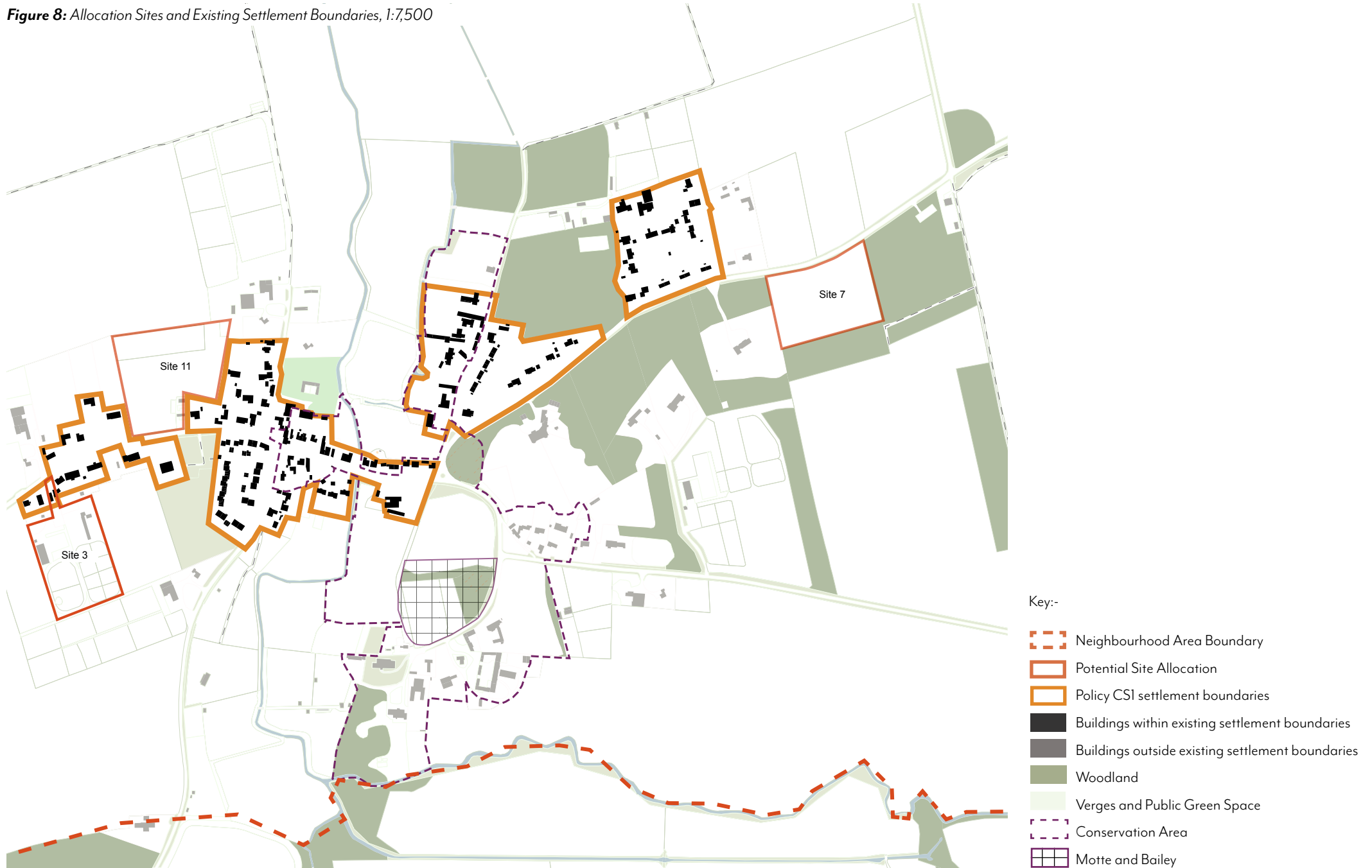
Clunch or chalk blocks are common building materials in the locality, and it is thought that chalk was quarried from an area between Church Lane and Mildenhall Road.

Roof Forms and Materials

Mansard roof forms are common in Freckenham. These roof forms allowed a greater headroom. Chimney stacks and prominent chimneys on gable ends, are important features in the roof-scape that indicate the date and layout of a building.

A range of roofing materials can be seen on existing dwellings within Freckenham. Hand made red and grey clay plain tiles and pantiles commonly feature. These vary in terms of profile and colour compared with machine made, concrete tiles, which have been more commonly used on late 20th Century development in the village. Other materials used locally include slate tiles, laid in diminishing courses and there are also several examples of decorative thatched roofs.

Figure 8: Allocation Sites and Existing Settlement Boundaries, 1:7,500



Allocation Site Analysis

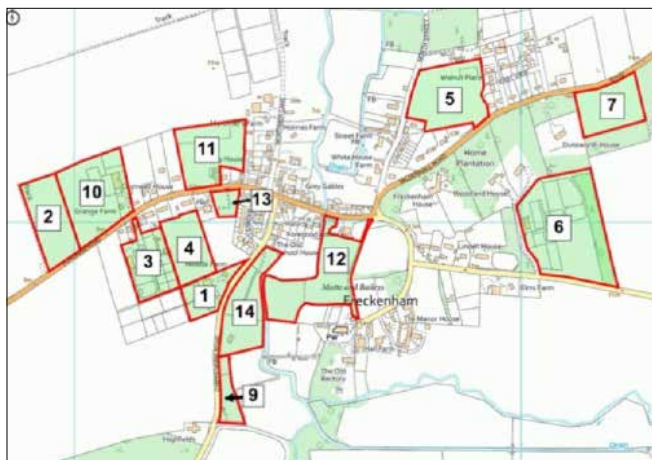


Figure 9: Map showing all 16 potential allocation sites.

This section of the report builds on the analysis set out in the Site Appraisals document (September 2020) that was prepared by Urban Vision Enterprise CIC and commissioned by Locality for FNP. The Site Appraisals report considered the suitability of 16 sites that were identified through an invitation letter sent by the qualifying body to the landowners or because it has been identified through the Strategic Housing and Economic Land Availability Assessment (SHELAA) process. The Site Appraisal report includes a summary of findings for each site and an indication based on a traffic lights system of whether each site is suitable in principle for residential development.

The three sites explored in further detail within this masterplanning report were identified in the Site Appraisals document as suitable for residential development and voted on by members of the community:

- Site 3: Meadcroft and Millfield;
- Site 7: Land south of Mildenhall Road;
- Site 11: 'Land at Freckenham'

The three sites fall outside of the existing settlement boundary for Freckenham. Policy CSI of the former FHDC area Core strategy (2010), 'Spatial Strategy' identifies Freckenham as a secondary village and therefore development outside of the settlement boundary is restricted. In addition, Policy DM27 of the former Forest Heath and former St Edmundsbury Local Joint Development Management Policies Document (2015), 'Housing in the Countryside' discourages development in open countryside.

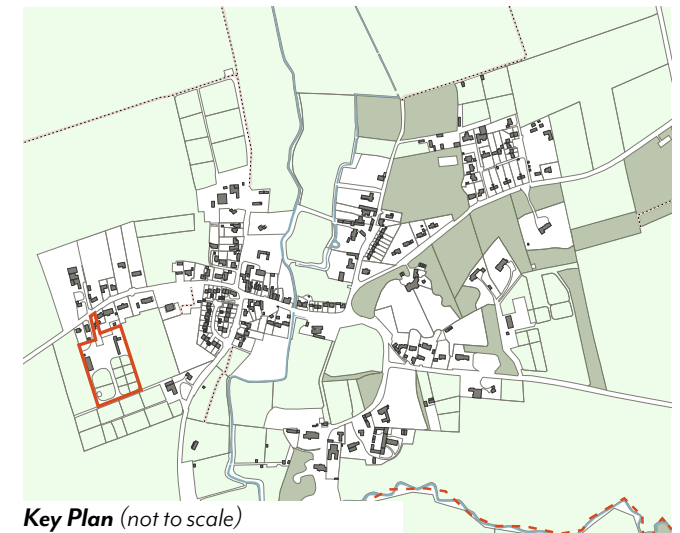
As part of the plan-making process, the settlement boundary may be amended to accommodate a site allocation. The qualifying Body must negotiate such an amendment with the Local Planning Authority and agree it following a period of public consultation. If the settlement boundary is amended, the Qualifying Body should ensure that the Neighbourhood Plan includes an appropriate infill policy and design guidance.

With this in mind, Sites 3 and 11 were identified in the report as having no constraints or constraints that are easily overcome, so that the sites can be allocated. Site 7 was identified as a site that is potentially suitable for allocation if medium scale constraints can be overcome, or part of the site only is suitable.

The following pages identify the opportunities and constraints for each site to inform a set of design principles that will be used to determine the appropriate capacity and masterplan for each potential site allocation. The design principles are supported by best practice examples of built projects and annotations, which illustrate the suggested approach.



Figure 9: Site 3, Meadcroft and Milfield 1:2,500



View 1: looking south



View 2: looking east



Site 3: Meadcroft and Millfield

Type: Greenfield and Existing DPL

Area: 1.4 HA

Site Appraisal rating: Green (no constraints or constraints that are easily overcome, so that the site can be allocated)

Site Appraisal capacity: Circa 22 / 10 (to comply with Policy CS7)

Site 3 is a roughly rectangular plot of greenfield land with horse arenas, a ménage and other equestrian facilities, alongside various single storey buildings, including a bungalow on the Fordham Road frontage. The site is bound by open countryside on its east, south and western boundaries.

The site entrance strip sits between existing bungalows on Fordham Road and this part of the site lies within the village development boundary. The Site Appraisal concludes that although the development of the entire site would pose a moderate intrusion into the countryside; the site could be considered suitable for allocation through the Neighbourhood Plan process.

The site was submitted as part of the Freckenham invitation letter and therefore it should be assumed that the site would be available for development.



Figure 10: Site 3, Opportunities and Constraints 1:2,500

Key:-

- Site Boundary
- Allotments
- Green Open Space and verge
- Buildings to be demolished
- Village hall
- Trees
- Hedges providing visual screening
- Sensitive edges
- Long views towards the site
- Existing Access
- Pedestrian footpath to village
- Sun Path

Site 3: Opportunities & Constraints and Related Design Guidance

Movement and Access

- Vehicular access to the site would be possible via an access spur off Fordham Road. Fordham road is sufficient in width and capacity to accommodate the vehicular access requirements for the site.
- There is an existing narrow pavement and intermittent street lighting along the southern side of Fordham Road providing a pedestrian route between the site entrance and village amenities to the east. **Guidance:** The development of the site would require the existing pavement to be widened to improve access to the village. Additional street lighting should be used only where absolutely necessary for safety and security. This is to protect wildlife and reinforce the rural character of the area.
- Existing access to the site is via a narrow unmade driveway between two dwellings on Fordham Road. **Guidance:** The development of the site may require the demolition of the dwelling within the site boundary to create a suitable entrance.
- There is a bend in Fordham Road to the east of the proposed site entrance, which may effect the visibility of turning vehicles at this junction. **Guidance:** This will need to be addressed through discussions with the Highways Authority.
- The site is located less than 250m from the village hall. There is an opportunity to introduce facilities such as bookable desk or meeting spaces and provide access to printing and photocopying equipment within the village hall to facilitate home working. This sustainable approach to work would benefit new and existing members of the community by reducing traffic and facilitating flexible working.

Built Form

- The site is open to the countryside on the east, south and west, therefore development of any scale would pose a moderate intrusion into the countryside. **Guidance:** A Landscape and Visual Impact Assessment would help to assess the impact of development.
- There is an existing row of houses fronting Fordham Road, with back gardens that adjoin the northern boundary of the site. **Guidance:** The layout of new development would need to limit inter-visibility between the existing and any proposed developments. New housing should have rear (or side) gardens backing onto the existing rear gardens to support privacy.
- Existing buildings fronting Fordham Road are 1, 1.5 and 2 storeys and make use of dormer windows to achieve additional internal floor area. **Guidance:** New development could reinforce this characteristic to limit its visual prominence in the landscape.
- Existing development along Fordham Road is varied in terms of its scale and typology, ranging from large detached bungalows and houses, to modest semi-detached houses. **Guidance:** New development could continue this trend to meet needs of different members of the community.
- The development of this site would result in a 'back of plot' layout with no through route. Where this approach has been used in the late 20th Century developments of East View and Shore Close, this has not contributed positively to Freckenham's rural character. **Guidance:** Any development should rather take inspiration from Mortimer Lane, to create a new lane and development within this site that reinforces the rural character of the village, by creating views out into the wider area.
- The orientation of the site lends itself to east-west facing development that would benefit from morning and evening sunlight, and minimise the risk of overheating.

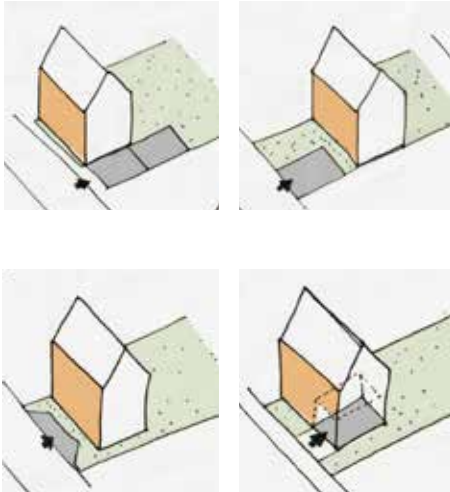
Landscape

- The site is relatively flat and there are no obvious landscape features that would preclude development.
- The site is within the 3km Impact Risk Zone of Chippenham Fen (Ramsar) and Fenland (SAC) and Snailwell Poor's Fen (SSSI) Within the 6km Impact Risk Zone of Breckland SAC and SSSI
- The site is in 'Village Character Area VA' in the Landscape Study. Key features of this area are flat, longitudinal plots and a utilitarian feel. **Guidance:** There is an opportunity to 'soften' the village edge through additional hedge and tree planting.
- Views on the approach from the west are blocked by a substantial tree belt and field margins and the inner boundaries of the site are heavily vegetated. **Guidance:** These features could be reinforced through additional planting of native species to improve biodiversity, provide additional enclosure and create a characterful landscape feature within new development.
- **Guidance:** There is an opportunity for additional tree and hedge planting along the boundary with existing gardens and amenity spaces to the north of the site. This would increase privacy by reducing inter-visibility between new and existing development.
- **Guidance:** The Concept Masterplan layout (following page) shows potential housing set out around a central communal green space which includes many of the existing trees on the site. This area is also large enough to contain informal playspace, and other potential community activities.
- Importantly this central open space also provides a direct view out to the wider landscape from entering the site and moving south into its main area. This is an important aspect of this site and will anchor a development into its rural context while also reducing the visual impact of new built form on views back towards the site from the south.













Figure 11: Site 3 Concept Masterplan
Scale: 1:1,250

Site Capacity: 18-22 homes



Suggested potential parking arrangements for all sites - refer to design code SS. 4.2 for more detailed information.

Key:-

-  Site Boundary
-  Communal green space
-  Private back gardens
-  Building frontage (1 detached, or 2 semi-detached. In suitable locations these could be arranged to form a terrace)
-  Existing trees and hedges retained and reinforced
-  Long views to the countryside
-  Vehicular access
-  Connection to pedestrian footpath to village
-  Potential play area
-  Potential location of visitor parking space(s)

Development Benefits

- The development is screened by existing trees and therefore its visual impact can be limited.
- The development would reinforce the existing pedestrian and vehicular movement hierarchy of Fordham Road. Vehicular access is proposed via an access point off Fordham Road. Pedestrian access could connect to the existing footpath along Fordham Road.
- Most of the potential built form should be east-west facing and therefore homes would benefit from morning and evening sunlight, and minimise the risk of overheating.
- There is an opportunity to retain existing trees in the centre of the site and reinforce these with additional planting. These add character to the development and provide the framework for the design of a generous public green space at the heart of the scheme.
- Existing hedgerows should be retained and enhanced to provide a buffer between new development and existing amenity spaces and improve biodiversity.
- There is an opportunity to 'soften' the village edge, to improve the wider setting, through additional hedge and tree planting along the boundaries of the site.

Development Considerations

- The entrance to the site is narrow and therefore access to this site may require the demolition of the existing bungalow on Fordham Road.
- Visibility from the proposed access point may be compromised by the existing properties to the east and west. This will require further testing and discussions with the Highways authority.
- Construction is likely to impact on residents of the existing row of bungalows fronting Fordham Road.
- The detailed design of the development would need careful consideration to minimise inter-visibility between existing and proposed development.



Figure 12: Site 7, Land South of Mildenhall Road, 1:2,500



View 1: Looking South east from Mildenhall Road



View 2: Looking South west from Mildenhall Road



Site 7: Land south of Mildenhall Road

Type: Greenfield Countryside

Area: 1.3 HA

Site Appraisal rating: Yellow (potentially suitable for allocation if medium scale constraints can be overcome)

Site Appraisal capacity: Circa 20 / 10 (to comply with Policy CS7)

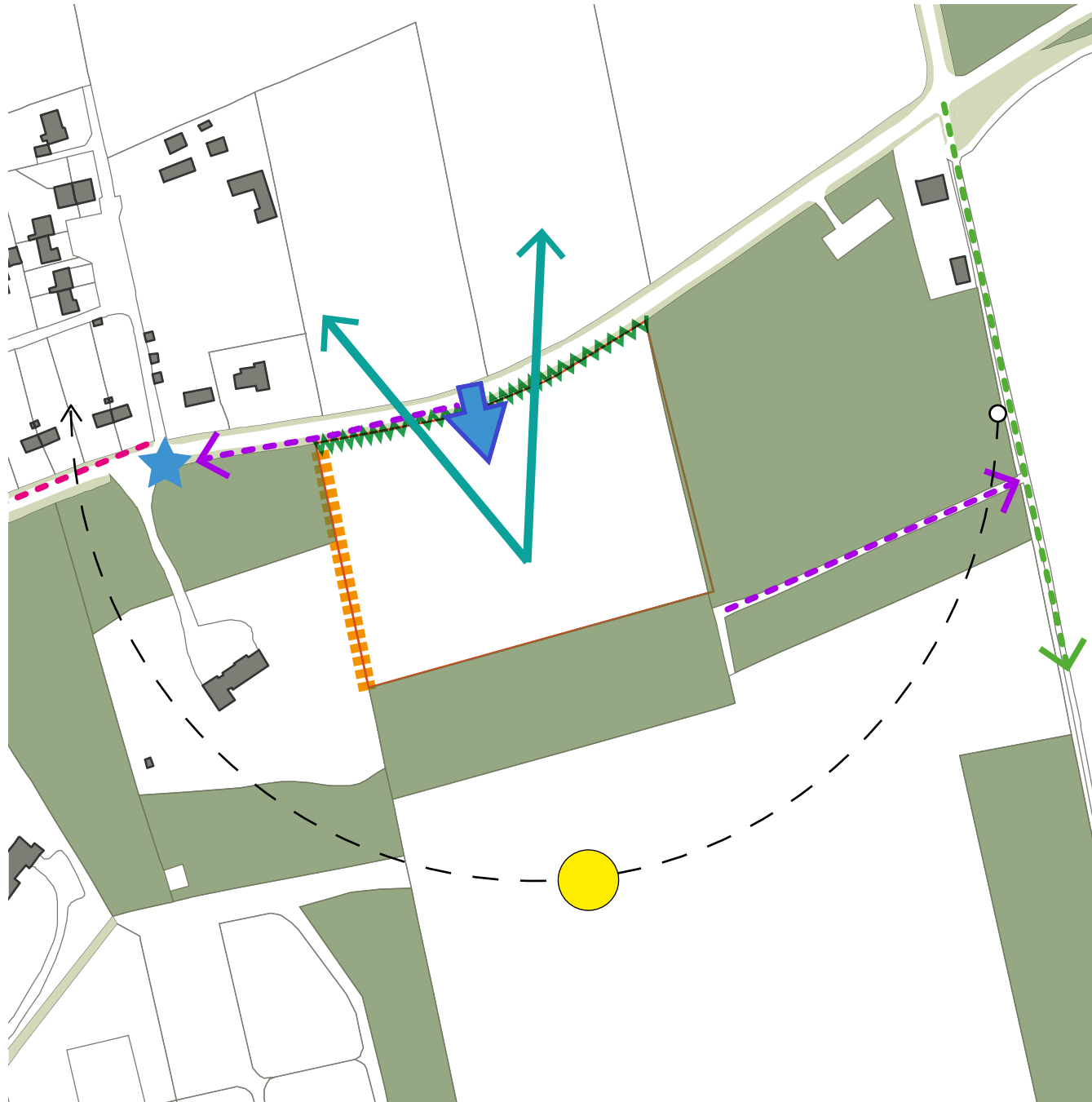
Site 7 is a rectangular plot of greenfield agricultural land within the countryside. The northern edge of the site bounds Mildenhall Road and the southern, eastern, and western site boundaries are contained by dense mature woodland.

Neighbouring the site to the west is Dunsworth House, a large detached dwelling in extensive grounds, that is screened by woodland and accessed from Mildenhall Road. Dunsworth House is part of pattern of similar developments of low density, prestigious homes that are not visible from the road. These stretch west along Mildenhall Road from Dunsworth House to the junction with North Street.














The site does not adjoin the village development boundary, however the Site Appraisal study concluded that a sensitively designed scheme could be acceptable, considering the visual screening provided by existing vegetation and the presence of existing low density development along Mildenhall Road. This would rely on suitable s278 agreements being secured to improve the local highways, particularly for pedestrians.

The site was submitted as part of the Freckenham invitation letter and therefore it should be assumed that the site would be available for development.

Figure 13: Site 7, Opportunities and Constraints 1:2,500



Key:-

-  Site Boundary
-  Woodland
-  Green Open Space and verge
-  Trees
-  Hedges providing visual screening
-  Sensitive edges
-  Long views from the site
-  Potential Access
-  Bus Stop
-  Existing pedestrian footpath
-  Existing bridleway
-  Existing track/verge and potential PRoW
-  Sun Path

Site 7: Opportunities & Constraints and Related Design Guidance

Movement and Access

- The site is located 700m from The Golden Boar Inn. This location is more removed from the existing built up area of Freckenham than sites 3 and 11 and therefore is less sustainable in terms of access and movement. **Guidance:** Improving pedestrian connections is important.
- There is no existing pavement or street lighting linking the site to the village. **Guidance:** A stretch of existing grass verge could become a pedestrian footpath linked to an existing pavement further east along the northern (opposite) side of Mildenhall Road. Pedestrians would need to cross Mildenhall Road from the site to connect with this footpath to the village. Converting this grass verge could also incorporate improvements to the existing bus stop (providing a twice daily bus service between Mildehall and Bury St Edmonds), which is currently a concrete pad in the grass verge.
- The existing pedestrian footpath terminates before the junction with North Street, which makes walking into the village an undesirable option. **Guidance:** There is an opportunity to secure a s278 agreement as part of the development of this site to improve pedestrian access into village from the east.
- There is no existing vehicular access to the site from Mildenhall Road, however there is the opportunity to create an entrance near the apex of the bend, where speed is reduced from 60mph to 30mph. **Guidance:** This would appear to achieve good visibility, although any proposal for this site would

Built Form

- The site is not adjacent to the settlement boundary, however there is an existing pattern of lower density developments to the west, comprising large detached dwellings set back from Mildenhall Road and screened by trees. Built form on the site would be screened by existing woodland belt to the east, south and west, therefore the Site Appraisal concluded that a sensitively designed scheme could be acceptable.
- The existing adjacent property, Dunsworth House, is set back from the frontage of Mildenhall Road, within wooded grounds and screened by trees. The grounds include an equestrian arena that borders the western boundary of the site. **Guidance:** The layout of new development should limit inter-visibility between existing and proposed development, including at equestrian head height. In addition, there should be no vehicular access or driveways close to this boundary, which should be bounded by private rear gardens only.
- The site benefits from views across open fields to the north. **Guidance:** There is an opportunity for new development to take advantage of these landscape views.
- The relationship between built form and the woodland edge of the site requires careful consideration. **Guidance:** The character of buildings and their layout should reinforce the isolated and wooded character of this location, in contrast to the more open character to the west of the village.
- **Guidance:** There are open fields to the north therefore a Landscape and Visual Impact Assessment would be helpful to assess the impact of development.
- A key feature of Freckenham is the variety of roof pitches, and building heights (from 1-2.5 storeys) on a diverse range of typologies including bungalows, villas, barns, detached and semi-detached housing. **Guidance:** This can be reinforced through the scale and orientation of new buildings on the site.

Landscape

- The site is relatively flat land and currently used for grazing or other agricultural purposes. There are no obvious landscape constraints that would preclude its development.
- The site is in 'Village Character Area VA' in the Landscape Study. The character area features rectilinear wooded areas which create a strong sense of containment and enclosure and provides visual screening to potential development. A maturing woodland belt provides screening and containment to the site's southern, eastern and western borders.
- The site has a high landscape value. It comprises a copse of mature copper beech and other deciduous trees and a mature hedge runs along rear and eastern boundaries. **Guidance:** These features should be retained and enhanced through infill planting. This would minimise the visual impact of new development, reinforce the distinctive wooded character of the area and provide ecological benefits.
- The site borders the grounds of Dunsworth House. **Guidance:** The development should add tree planting in this location to increase privacy by reducing inter-visibility between new and existing development.
- There is an existing 1.7m high hedge along the northern boundary with Mildenhall Road. **Guidance:** This should be retained and enhanced to provide enclosure from the road and provide ecological and screening benefits.
- **Guidance:** The Concept Masterplan proposes a shared green space adjacent to the southern woodland which would allow clear views to the woodland on entering the site and moving along the internal lanes, except at the street frontage.
- This green space has the potential for an informal play space and other activities and it would be well-overlooked by houses facing east, west and south

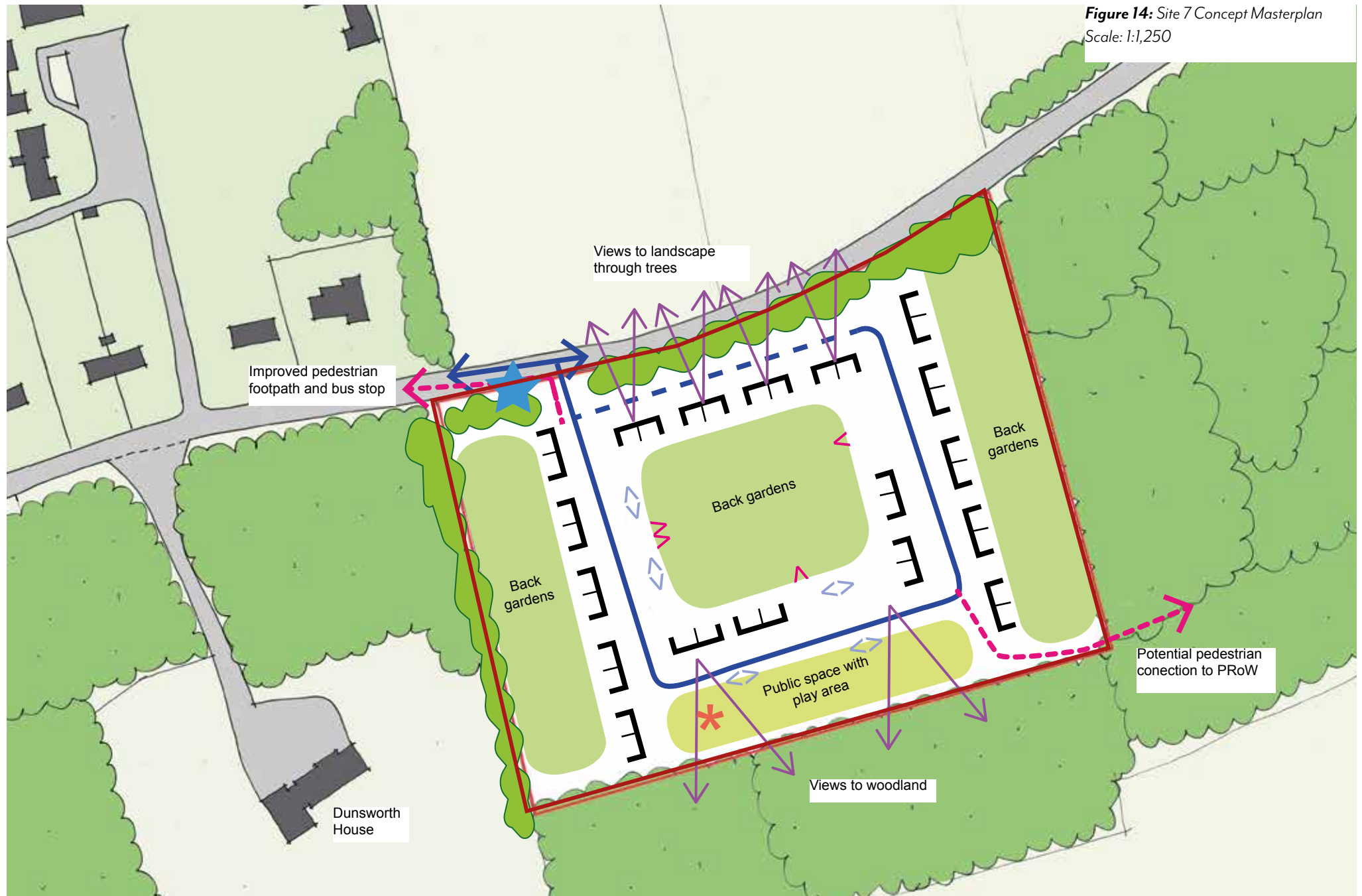


Figure 14: Site 7 Concept Masterplan
Scale: 1:1,250

Site Capacity: 27-32 homes

Description of Layout

- The proposed Concept Masterplan layout includes a simple loop route around the site locating housing frontages facing onto this access lane. This locates private back gardens adjacent to the boundary with Dunsworth House, as well as to the woodland to the east. The centre of the site would have a 'block' of housing with rear gardens backing onto each other and frontages looking out to northern views or over the communal green space to the south or internal lane.
- The Concept includes a communal green space adjacent to the southern boundary edge and woodland, opening views onto the woodland from the site entry and from many of the housing frontages. An informal play space could be located on the green space.

Key:-

-  Site Boundary
-  Communal green space
-  Private back gardens
-  Building frontage (1 detached, or 2 semi-detached. In suitable locations these could be arranged to form a terrace)
-  Existing trees and hedges retained and reinforced
-  Long views to the countryside/woodland
-  Vehicular access
-  Potential improved pedestrian connections
-  Potential improved bus stop
-  Potential play area
-  Potential location of visitor parking space(s)
-  Potential location of parking within garages at rear of garden.

Development Benefits

- Pedestrian access to the village could be improved with the provision of a new footpath along the northern boundary of the site. A s278 agreement as part of the development could improve pedestrian access into the village from the east.
- There is a nearby bus stop on Mildenhall Road and this could be improved by relocating it on the site edge.
- The development would reinforce the existing vehicular movement hierarchy of Mildenhall Road and the proposed access point would appear to achieve good visibility. This should be considered by the Highways authority.
- The existing 1.7m high hedge along the northern boundary with Mildenhall Road should be retained and enhanced to provide enclosure and support ecological and screening benefits.
- The development is screened by existing trees to the east, south and west and therefore its visual impact would be limited.
- New development facing Mildenhall Rd could benefit from views across open fields to the north.
- The surrounding woodland provides a strong character context, in keeping with the rural character of Freckenham.
- Existing hedgerows should be retained and enhanced to provide a buffer between new development and Dunsworth House. This would also improve biodiversity.
- There is potential to negotiate with third parties to provide a new pedestrian footpath at the south-east corner of the site, which would connect with an existing PRoW.
- The Concept Masterplan proposes a shared green space including potential play area adjacent to the southern woodland boundary.

Development Considerations

- The site is located 700m from The Golden Boar Inn. This location is more removed from the existing built up area of Freckenham than sites 3 and 11 and therefore is less sustainable in terms of access and movement. Development on this site could be seen as 'sprawl' rather than strengthening the compact, well-defined village edge.
- The southern boundary needs careful consideration to ensure the safety of the potential play area and green space.
- The detailed design of the development would need careful consideration to minimise inter-visibility between the proposed development and Dunsworth House.

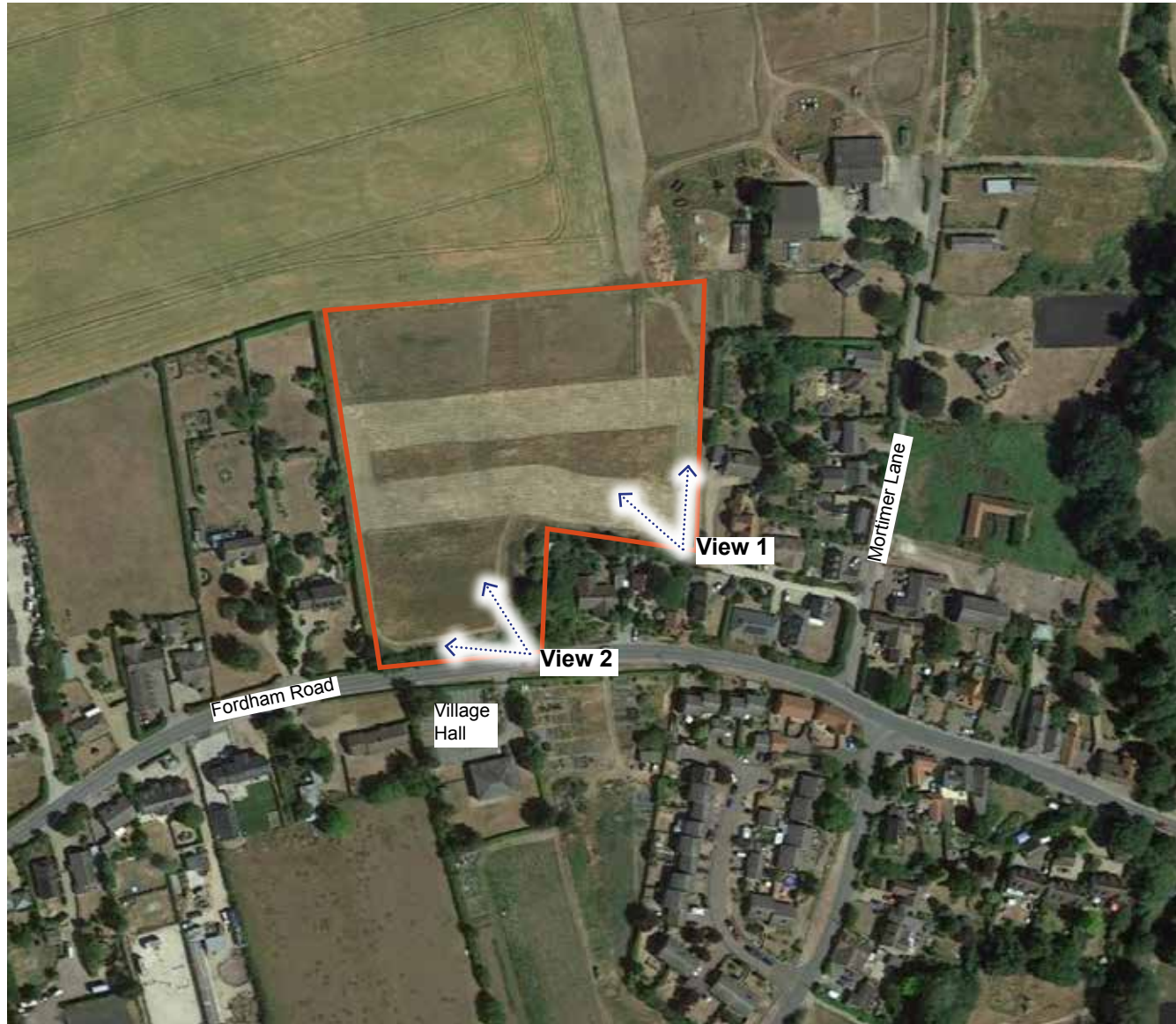
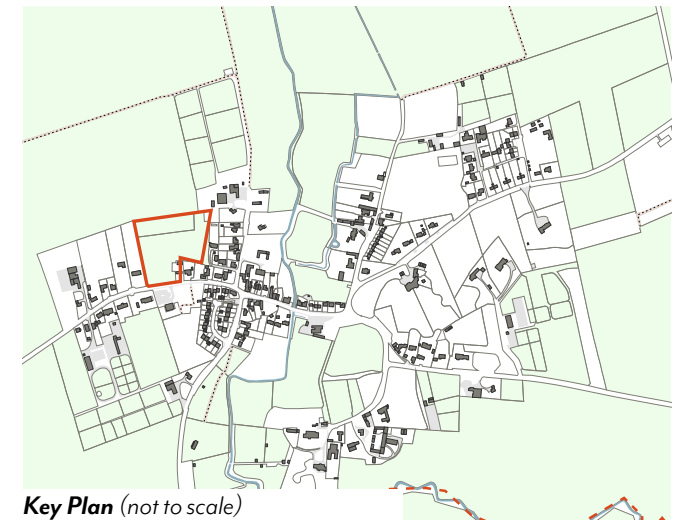


Figure 15: Site 11, Land at Freckenham, 1:2,500



View 1: Looking north from entrance on eastern boundary of the site



Site 11: ‘Land at Freckenham’

Type: Greenfield Countryside

Area: 1.7 HA

Site Appraisal rating: Green (no constraints or constraints that are easily overcome, so that the site can be allocated)

Site Appraisal capacity: Circa 27 / 10 (to comply with Policy CS7)

Site 11 is a roughly square plot of greenfield arable agricultural land within the countryside, containing 3 derelict farm buildings that are surrounded by overgrown vegetation.

Beyond the site boundary, at the south-eastern corner of the site, there are 3 residential dwellings with gardens. The southern edge of the site bounds Fordham Road and along the eastern boundary there are houses with gardens of properties that front Mortimer Lane and The Driftway. To the west lies Cromwell House and garden. The site is screened by hedgerows along boundaries at the west and south and open to the countryside to the north.

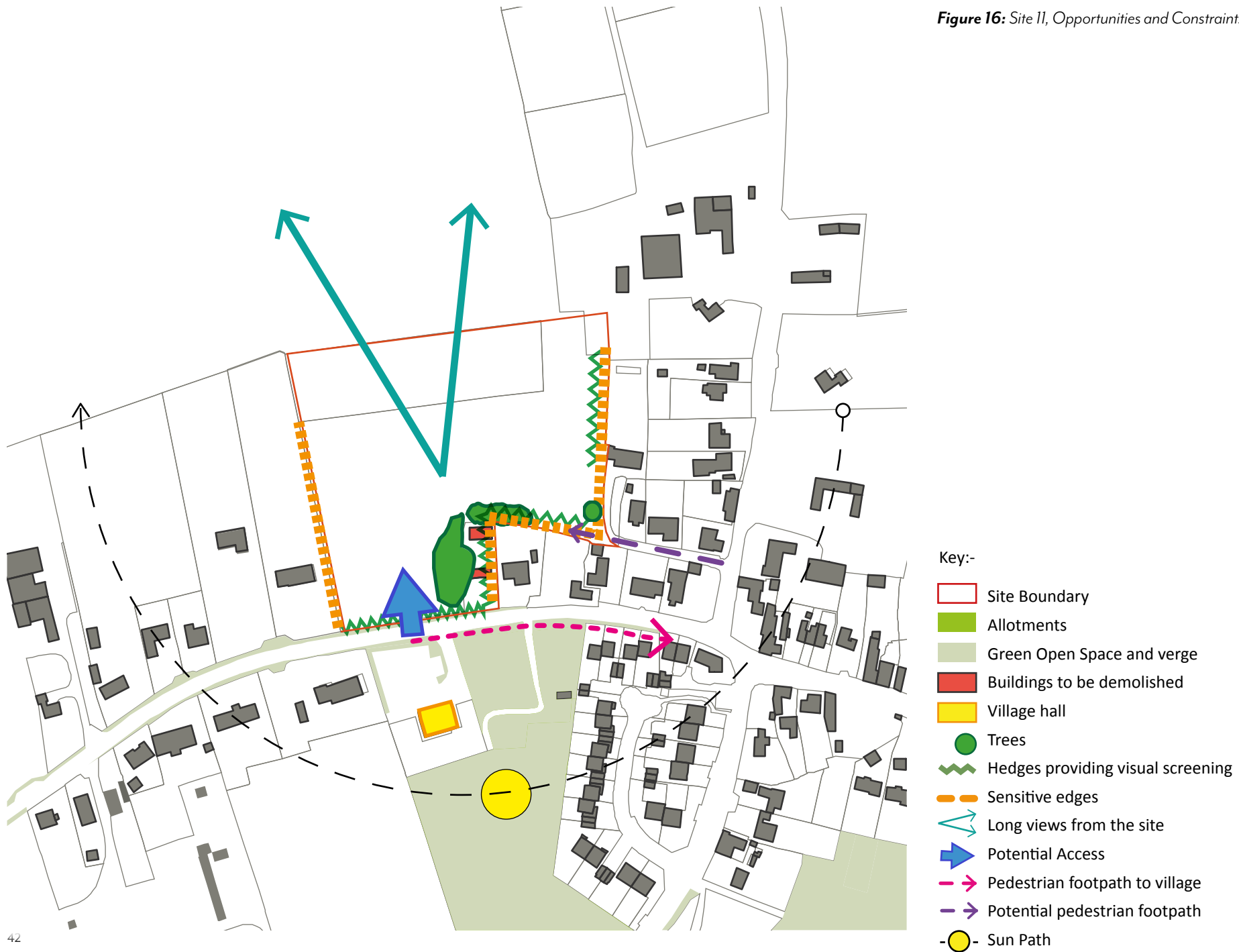
The site is adjacent to the village development boundary and sits between a cluster of dwellings that form an otherwise continuous built up frontage along Fordham Road. The Site Appraisal study concluded that for the purposes of the allocation through the Neighbourhood Plan, this site is sustainably located as it would represent infill development, linking two components of the settlement, with little impact on landscape and heritage.

The site was identified through the Strategic Housing and Economic Land Availability Assessment (SHELAA) process.

View 1: Looking North-east from Fordham Road



Figure 16: Site 11, Opportunities and Constraints 1:2,500



Site 11: Opportunities & Constraints and Related Design Guidance

Movement and Access

- In the south-eastern corner, the site bounds the private driveway of the bungalow Betaynu which leads to a narrow track off Mortimer Lane, called 'The Driftway'. This route is partly in private ownership and tightly bound by dwellings and gardens to the north and south making it an unsuitable vehicular access point for the development. However, through negotiations with third parties, there is potential for this route to allow pedestrian access to the site.
- A main vehicular access to the site would be possible off Fordham Road. This road appears to have sufficient width and capacity to accommodate the vehicular access requirements for the site. This will need to be addressed in detail through discussions with the Highways Authority.
- The introduction of a new access point on Fordham Road would require the removal of a section of boundary hedge. **Guidance:** This may require ecological mitigation but is unlikely to preclude development.
- **Guidance:** The proposed access point would be set away from the western boundary to accommodate a green buffer, including the existing hedge, to the adjacent house and allow for any Highways requirements like visibility splays.
- There is no pavement on the northern side of Fordham Road, however there is an existing one, along with intermittent street lighting, along the southern side that provides a pedestrian connection to village amenities to the east.
- The site is located less than 250m of the village hall. There is an opportunity to introduce facilities to the Hall such as bookable desk or meeting spaces and provide access to printing and photocopying equipment within the village hall to facilitate home working. This sustainable approach to work would benefit new and existing members of the community.

Built form

- The site is adjacent to a cluster of dwellings to the east and Cromwell House and garden to the west. The site is greenfield arable agricultural land within an otherwise continuous built up frontage along Fordham Road. Development of this site would infill this 'gap', linking two parts of the settlement.
- There are intervening dwellings between the site and the Conservation Area and therefore the impact of development would be minimal.
- Existing dwellings at the south eastern corner of the site have rear gardens that adjoin the boundary. **Guidance:** The layout of new development would need careful consideration to limit inter-visibility between existing and proposed development.
- Existing buildings fronting Fordham Road and Mortimer Lane are 1, 1.5 and 2 storeys and make use dormer windows to achieve additional internal floor area. **Guidance:** New development could reinforce this characteristic to limit its visual prominence in the landscape
- Existing development along Fordham Road is varied in terms of its scale and typology, ranging from large detached bungalows and houses, to modest semi-detached houses. **Guidance:** New development could continue this trend to meet needs of different members of the community.
- **Guidance:** A Landscape and Visual Impact Assessment could be used to assess the impact of the scale and massing of development.
- **Guidance:** Built form should locate private back gardens onto existing gardens to the east and west, with frontages facing onto the new central green space. Housing along Fordham Rd should face the street with parking to the rear off the main access route. These houses would also back onto others within the site, retaining back garden privacy.

Landscape

- The site is relatively flat and there are no obvious landscape features that would preclude its development.
- The site is in 'Village Character Area VA' in the Landscape Study. Key features of this area are flat, longitudinal plots and a utilitarian feel. **Guidance:** There is an opportunity to 'soften' the village edge through additional hedge and tree planting.
- The site is partly enclosed by hedgerows, hedges and trees along its east, south and western boundaries. **Guidance:** These should be retained and enhanced (where possible) through infill planting to provide screening to development and improve biodiversity.
- **Guidance:** There is an opportunity for additional tree and hedge planting along the boundary with existing gardens and amenity spaces at the western boundary and south-eastern corner of the site. This would increase privacy by reducing inter-visibility between new and existing development.
- The site benefits from views across open fields to the north and there are few visual receptors to the north. **Guidance:** There is an opportunity for new development to take advantage of these views and form a strong relationship with the countryside, as well as also providing back garden boundary planting where required.
- **Guidance:** The Concept Masterplan layout provides a new central shared green space which most of the new development is set around. This area has the potential to accommodate an informal play area and other activities, as well as being landscaped to reflect local character.

Figure 17: Site II Concept Masterplan
Scale: 1:1,250













Site Capacity: 27-32 homes

Description of Layout

- The Concept Masterplan introduces a new access point off Fordham Rd. this route then circulates around a landscaped central green space, overlooked by most of the new development. This layout provides clear views out to the north over the countryside in two locations from the centre of the site along new lanes in front of the potential houses.
- Back gardens are set to the boundaries ensuring that existing neighbouring gardens retain their privacy.
- The exception to this is along the street frontage where houses face out to Fordham Rd - set back from the existing hedgerow - and their rear gardens back onto others belonging to housing within the site. Car parking could be located between the back gardens as access off Fordham Rd would be limited.

Key:-

-  Site Boundary
-  Shared central green space and buffer
-  Private back gardens
-  Building frontage (1 detached, or 2 semi-detached. In suitable locations these could be arranged to form a terrace)
-  Existing trees and hedges retained and new landscaping added to enhance existing
-  Long views to the countryside
-  Vehicular Access
-  Connection to pedestrian footpath
-  Potential play area
-  Potential location of visitor parking space(s)

Development Benefits

- Fordham Road appears to be sufficient in width and capacity to accommodate the vehicular access requirements for the site. This will need to be addressed through discussions with the Highways Authority.
- Through negotiations with third parties, there is potential for new pedestrian access between the western boundary of the site and The Driftway.
- There is an opportunity to provide a pedestrian footpath along Fordham Road at the southern boundary of the site, where there is currently no footpath.
- Development of this site would infill the 'gap' between two components of the settlement, rather than expanding the overall built up area of the village outwards.
- Development would benefit from views across open fields to the north to form a strong relationship with the countryside.
- The site is partly enclosed by hedgerows, hedges and trees along its eastern, southern and western boundaries. There is an opportunity to retain and enhance these through infill planting to provide screening to development and improve biodiversity.
- There is an opportunity for additional tree and hedge planting along boundaries with existing gardens to reduce inter-visibility between new and existing development.
- There is an opportunity to provide a generous landscaped public space at the heart of the development, which could be used by the wider community.

Development Considerations

- The site is open to the countryside on the north and therefore development of any scale would pose an intrusion into the countryside.
- The introduction of a new access point on Fordham Road would require the removal of a section of boundary hedge. This may require ecological mitigation but is unlikely to preclude development.
- The site is bound by several properties in different ownership and therefore development could require negotiations with third parties.
- The detailed design of the development would need careful consideration to minimise inter-visibility between the proposed development and existing homes and amenity spaces to the east, south and west of the site.
- Construction is likely to impact temporarily on residents of the existing homes fronting Fordham Road and along the Driftway.

Relevant Case Studies

Angmering Village Masterplan, West Sussex: A residential masterplan for the edge of Village site in Angmering West Sussex accommodating 18 new dwellings. The masterplan provides a variety of sustainable two, three and four bedroom house types. Houses were designed in a modern vernacular style, using local brick and clay tile along with contemporary materials such as slate and zinc.

The masterplan creates a comfortable and organic layout, with all existing mature trees retained to the entrance and perimeter areas in order to complement the rural character and feel of the development.

There is a generous green amenity space provided at the front of each house and each house also provides a generous back garden. Strategically concealed parking and the use of shared pedestrian and vehicle surface mean that the rural feel of the plot is maintained. Views to and from the new scheme are carefully controlled, to respect and enhance the green surroundings.

Relevance

- use of appropriate and traditional materials
- views to and from the new scheme towards the sensitive landscape are carefully controlled
- each property provides a generous garden including green
- amenity spaces in front of the homes.
- mature trees are retained,
- car-parking is strategically located and concealed to maintain the rural feel of the neighbourhood



Maastricht-Gulpen Cycle Route, Holland: Long-distance rural cycle route between numerous rural settlements. A dedicated cycle lane and footpath has been provided within the field edges and separated from traditional yet constrained vehicular roads. This allows the maintenance of hedgerows and mature trees while providing a high-quality cycle route.

Silkin Way, Telford: An example of a network of existing footpaths/ bridleways enhanced to cycling standards and providing increased amenity and sustainable connectivity between settlements.



Maastricht-Gulpen Cycle Route, Holland



Silkin Way, Telford

Sutcliffe Park, London: Landscape improvements combine public access with environmental conservation and enhancement of biodiversity. The use of walkways provide high-quality leisure routes near sensitive habitats, increasing access and awareness.

Rieselfeld, Freiburg: An example of how a multi-functional green open space can combine flood attenuation and SuDS within a well designed landscape recreation space and bring quality and amenity to local communities while enhancing sustainability.

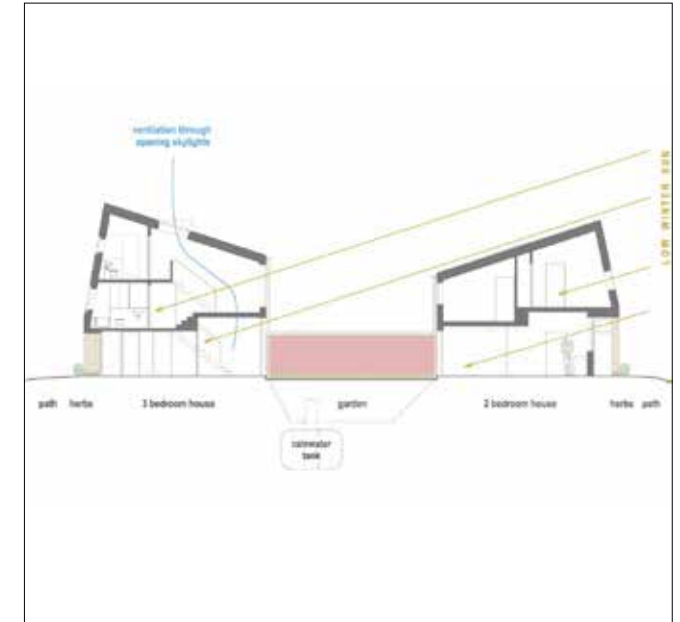


Sutcliffe Park, London



Rieselfeld, Freiburg

Clay Field, Suffolk: 26 affordable homes for local families and young people. Houses are orientated to minimise overshadowing and maximise passive solar gain. Across the site, a series of ‘swales’, dips and hollows, provide natural drainage. Low maintenance communal gardens include a wild flower meadow, an orchard of Suffolk apples (with play equipment for small children under the trees) and allotments. The layout of these spaces recall ancient field patterns.



Oakfield, Swindon: an example of how new contemporary residential development can take inspiration from traditional building forms. The 1.5 storey terraces with pitched roofs and dormer windows maximise internal space while minimising the visual impact of the new buildings from the wider landscape.



Derwenthope, nr York: Views from the points of access to the site and the wider area have been used to inform the height, form and roof pitch direction of each home. The image to the right shows how the orientation of one home can create a feature from its gable that becomes a focal point within the wider masterplan.



The Avenue, Saffron Walden: Thresholds have been carefully considered as integral to the overall design. The red brick garden wall steps up in key locations to form a characterful gable and wraps corners to create a sense of continuity. Contrasting paving, low maintenance threshold planting and porches allow space for personalisation that enlivens the street and define the private and public realm.



Brookfields, Milton Keynes: The varied orientation of dwellings results in a varied roof scape and the landscaped green space soften the edge and create a high-quality transition to surrounding countryside.

The use of rural-inspired planting maintains a 'wild' sense while creating amenity areas that are low maintenance yet high-quality. Houses are arranged to take advantage of views of the landscape and provide passive surveillance of footpaths to make them feel safer.



Abode, Great Kneighton: Homes are arranged along a shared surface route appropriate for pedestrian and cycle access, with informal parking directly outside residences. The route shifts direction to allow the integration of landscaping to provide a green link as well as to diminish the visual prominence of any parked cars in the view.

Homes have a strong relationship to the woodland edge of the site. This is a good example of how new development can respond to the existing landscape features through a strong rural-inspired framework of green spaces and gardens. This includes new planting that references local and native species to create a strong character without the need for non-contextual ornamental planting.



Temple Gardens, Somerset: An example of how infill development can be sensitively accommodated within an existing village with heritage elements. Here a series of residential terraces provide frontage onto an existing street

The new buildings adopt appropriate and traditional materials and forms and combined these with contemporary high-quality detailing to successfully integrate into the surrounding context without direct imitation.



Lovedon Lane, Hampshire: New residential development on the edge of a rural settlement in Hampshire. The proposal is designed to respond to changes in topography, with careful consideration as to how the buildings and gardens transition to surrounding rural fields. This includes integration and enhancement of existing rural paths.



Freckenham Parish Council

07759263349

freckenhamparishclerk@hotmail.com

AR Urbanism

63 Rivington Street

London

EC2A 3QQ

020 3290 8979

www.ar-urbanism.com

amanda@ar-urbanism.com

